

LEGAL DESCRIPTION:

Parcel I:
Lot 12, Block A, RAMSEY, LOCKWOOD & OTHERS ADDITION TO ST. ANTHONY, Hennepin County, Minnesota.
Parcel II:
Lot 13, Block A, RAMSEY, LOCKWOOD & OTHERS ADDITION TO ST. ANTHONY, lying Northeasterly of the Great Northern Tracks, Hennepin County, Minnesota.

PROPOSED LEGAL DESCRIPTION OF STREET PARCEL ADJACENT TO LOT 13:

The North half of Cemetery Street adjacent to Lot 13, Block A, RAMSEY, LOCKWOOD & OTHERS ADDITION TO ST. ANTHONY, lying Northeasterly of the Great Northern Tracks, Hennepin County, Minnesota.

PROPOSED LEGAL DESCRIPTION OF STREET PARCEL ADJACENT TO LOT 1:

The South half of Cemetery Street adjacent to Lot 1, Block 4, RAMSEY, LOCKWOOD & OTHERS ADDITION TO ST. ANTHONY, lying Northeasterly of the Great Northern Tracks, Hennepin County, Minnesota.

SCOPE OF WORK & LIMITATIONS:

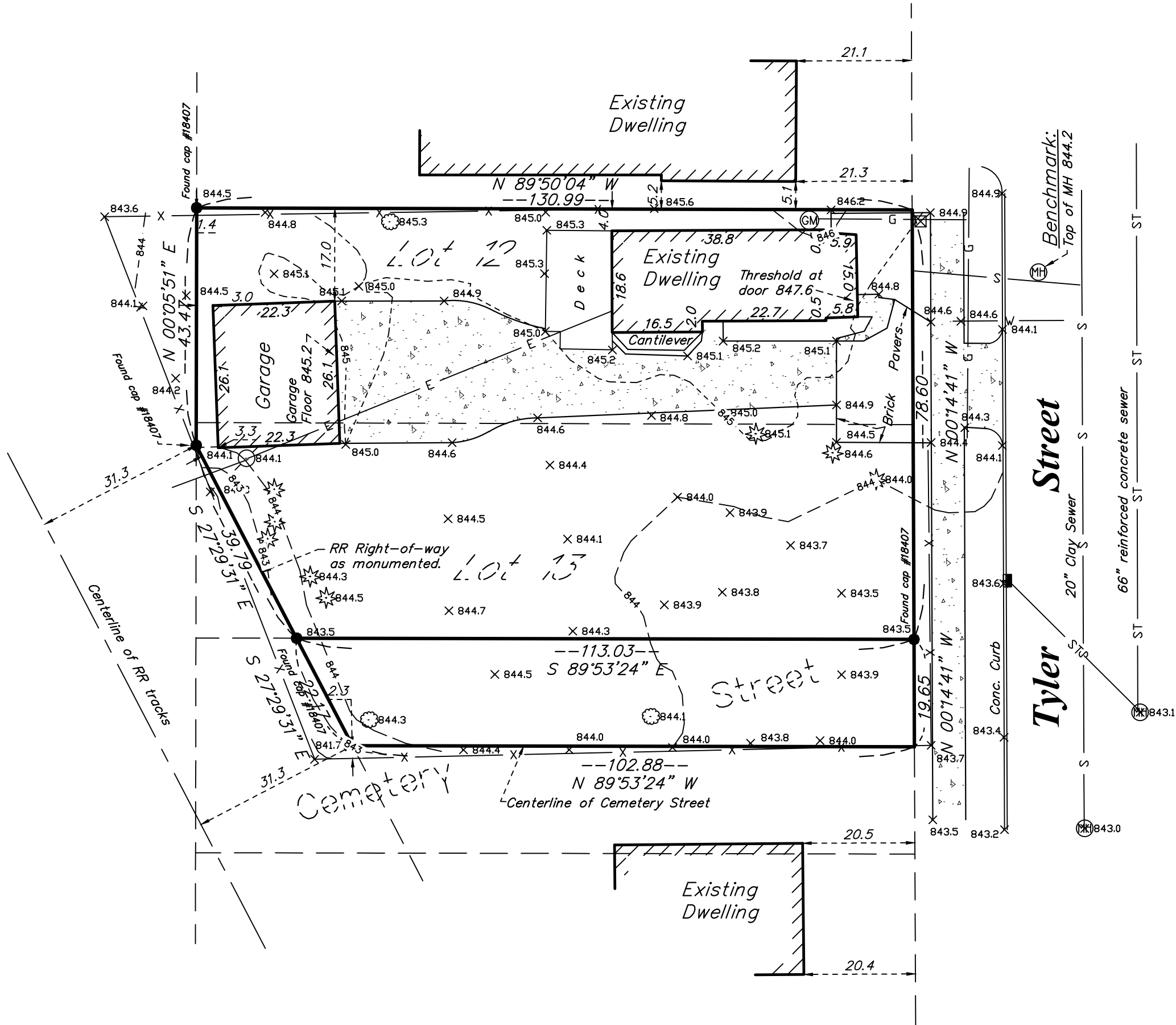
- Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
- Showing the location of observed existing improvements we deem necessary for the survey.
- Setting survey markers or verifying existing survey markers to establish the corners of the property.
- This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown hereon.
- Note that all building dimensions and building tie dimensions to the property lines, are taken from the siding and or stucco of the building.
- Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.

STANDARD SYMBOLS & CONVENTIONS:

"●" Denotes iron survey marker, set, unless otherwise noted.

PROPOSED LEGAL DESCRIPTION OF THE VACATION OF ALL OF CEMETERY STREET:

All of Cemetery Street lying between Lot 13, Block A, and Lot 1, Block 4, all in RAMSEY, LOCKWOOD & OTHERS ADDITION TO ST. ANTHONY, lying Northeasterly of the Great Northern Tracks, Hennepin County, Minnesota.



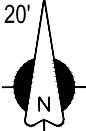
LEGEND

- CATCH BASIN
- GAS METER
- FIRE HYDRANT
- POWER POLE
- MANHOLE
- TELEPHONE PED.
- ELEC. TRANSFORMER
- WELL
- GATE VALVE
- LIGHT POLE
- TREE
- FENCE LINE
- SANITARY SEWER LINE
- WATER LINE
- GAS LINE
- STORM DRAIN LINE
- OVERHEAD UTILITY LINE
- CONCRETE SURFACE

DATE	REVISION DESCRIPTION

DRAWING ORIENTATION & SCALE

SCALE - 1" = 20'



CLIENT NAME / JOB ADDRESS

FOOTPRINT DEVELOPMENT
LLC

734 & 800 TYLER STREET
MINNEAPOLIS, MN

Advance
Surveying & Engineering, Co.

17917 Highway 7
Minnetonka, Minnesota 55345
Phone (952) 474-7964
Web: www.advsur.com

I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT
WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY REGISTERED LAND SURVEYOR
UNDER THE LAWS OF THE STATE OF MINNESOTA.

Thomas M. Bloom
42379
LICENSE NO.
MAY 2, 2023
DATE

DATE SURVEYED: MAY 1, 2023

DATE DRAFTED: MAY 2, 2023

SHEET TITLE

EXISTING CONDITIONS
SURVEY

DRAWING NUMBER

230264 TB

SHEET SIZE 17 X 22

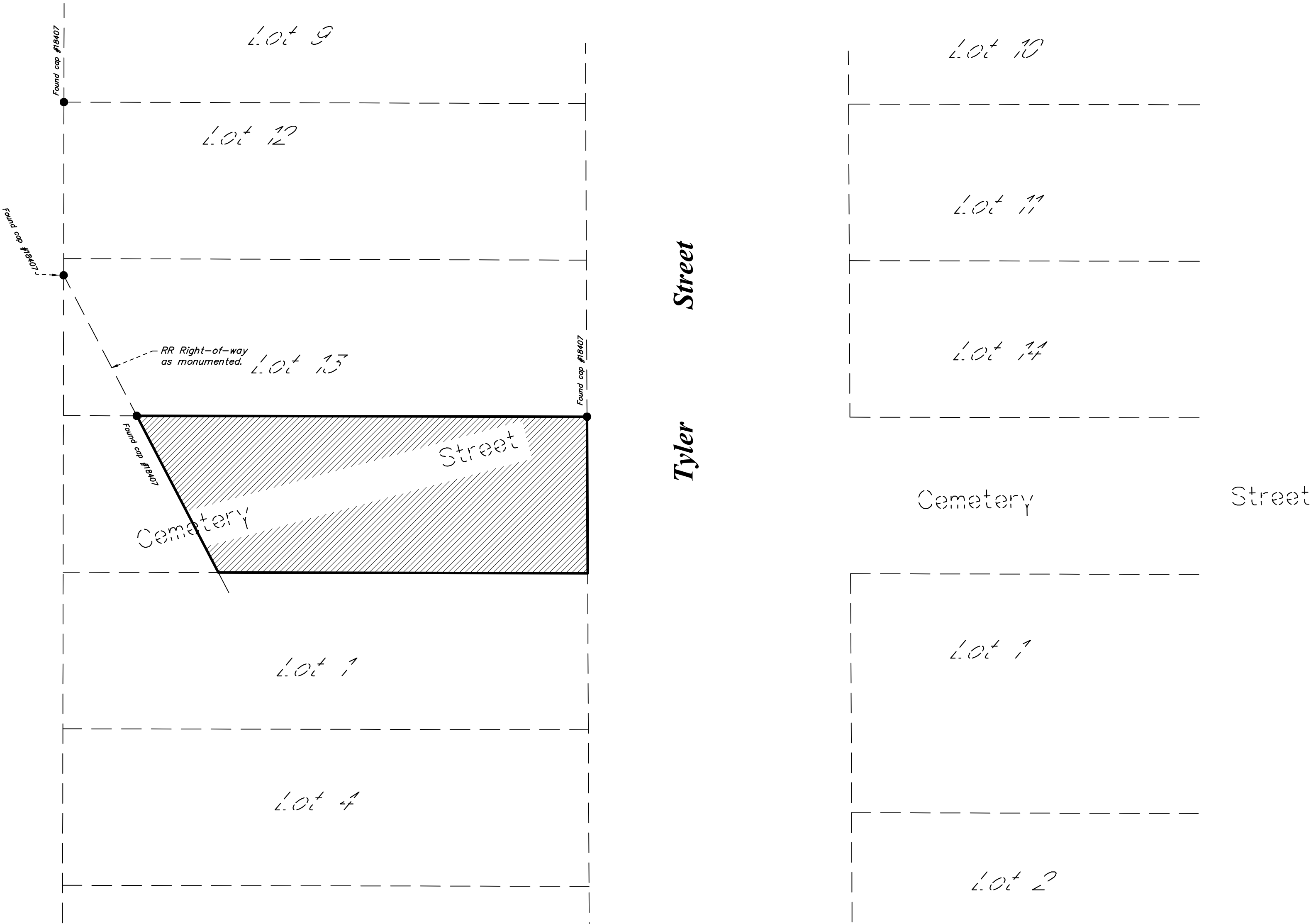
SHEET NO.

S1

SHEET 1 OF 1

VACATION 1784: LEGAL DESCRIPTION OF THE VACATION OF ALL OF CEMETERY STREET:

All of Cemetery Street lying between Lot 13, Block A, and Lot 1, Block 4, all in RAMSEY, LOCKWOOD & OTHERS ADDITION TO ST. ANTHONY, lying Northeasterly of the Burlington Northern RR (Formerly Great Northern Railway), Hennepin County, Minnesota.



DATE	REVISION DESCRIPTION	DRAWING ORIENTATION & SCALE SCALE - 1" = 20'	CLIENT NAME / JOB ADDRESS	Advance Surveying & Engineering, Co.	I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA. Thomas M. Bloom # 42379 LICENSE NO. APRIL 16, 2024 DATE	DATE SURVEYED: N/A DATE DRAFTED: APRIL 16, 2024	SHEET TITLE VACATION EXHIBIT DRAWING NUMBER 230264 TB EXHIBIT	SHEET SIZE 17 X 22 SHEET NO. S1 SHEET 1 OF 1
			FOOTPRINT DEVELOPMENT LLC 734 & 800 TYLER STREET MINNEAPOLIS, MN	18202 Minnetonka Blvd., Suite 401 Deephaven, Minnesota 55391 Phone (952) 474-7964 Web: www.advsur.com				

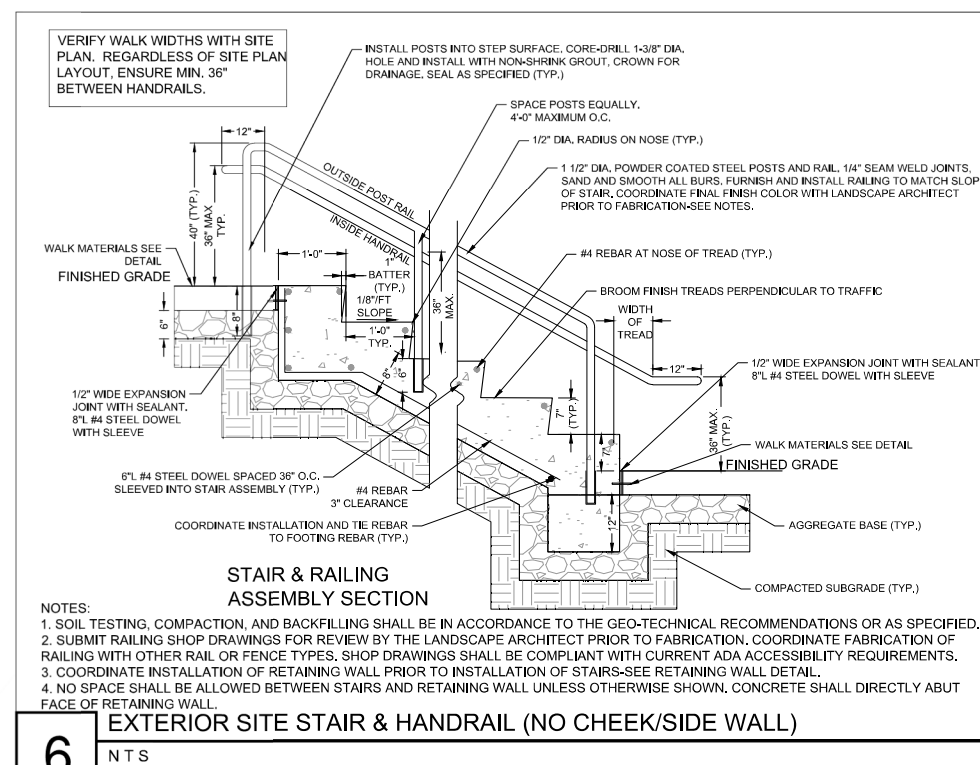
EXISTING
FENCING

NEW FENCING

EXISTING FENCE
TO BE REMOVED

PROJECT OVERLAY ON SURVEY

DATE	REVISION DESCRIPTION	DRAWING ORIENTATION & SCALE SCALE - 1" = 20'	CLIENT NAME / JOB ADDRESS	Advance Surveying & Engineering, Co.	DATE SURVEYED: MAY 1, 2023	SHEET TITLE EXISTING CONDITIONS SURVEY	SHEET SIZE 17 X 22
			FOOTPRINT DEVELOPMENT LLC	17917 Highway 7 Minnetonka, Minnesota 55345 Phone (952) 474-7964 Web: www.advsur.com	DATE DRAFTED: MAY 2, 2023	DRAWING NUMBER 230264 TB	SHEET NO. S1
			734 & 800 TYLER STREET MINNEAPOLIS, MN				SHEET 1 OF 1



NEW FENCE → 4) ARONIA MELANOCARPA
'GLOSSY BLACK CHOKEBERRY'



3565 MINNEHAHA
3565 Minnehaha Ave
Minneapolis, MN

DATE: 6/20/25

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OF
REPORT WAS PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE STATE OF
MINNESOTA.

PETER KEELY
REGISTRATION NO: 23570

Owner
734-800 TYLER LLC
Cody Fischer
612.567.3990
CODY@FOOTPRINTDEV.COM

Collage | architects
Architects
Pete Keely
651.472.0050
708 15th Avenue NE
Minneapolis, MN 55413

**Civil Engineering
Advance Surveying & Engineering
EOR
952.474.7964
17917 Highway 7
Minnetonka, MN 55345**

DATE: 6/20/25

LUA / PDR
APPLICATION

REVISIONS:

No.	Date	Description
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PROJECT NO: 11701.01

DRAWN BY: Author

CHK'D BY: Checker

SHEET TITLE

LANDSCAPE PLAN

L1

POLLINATOR SAFE PLANT MATERIAL:

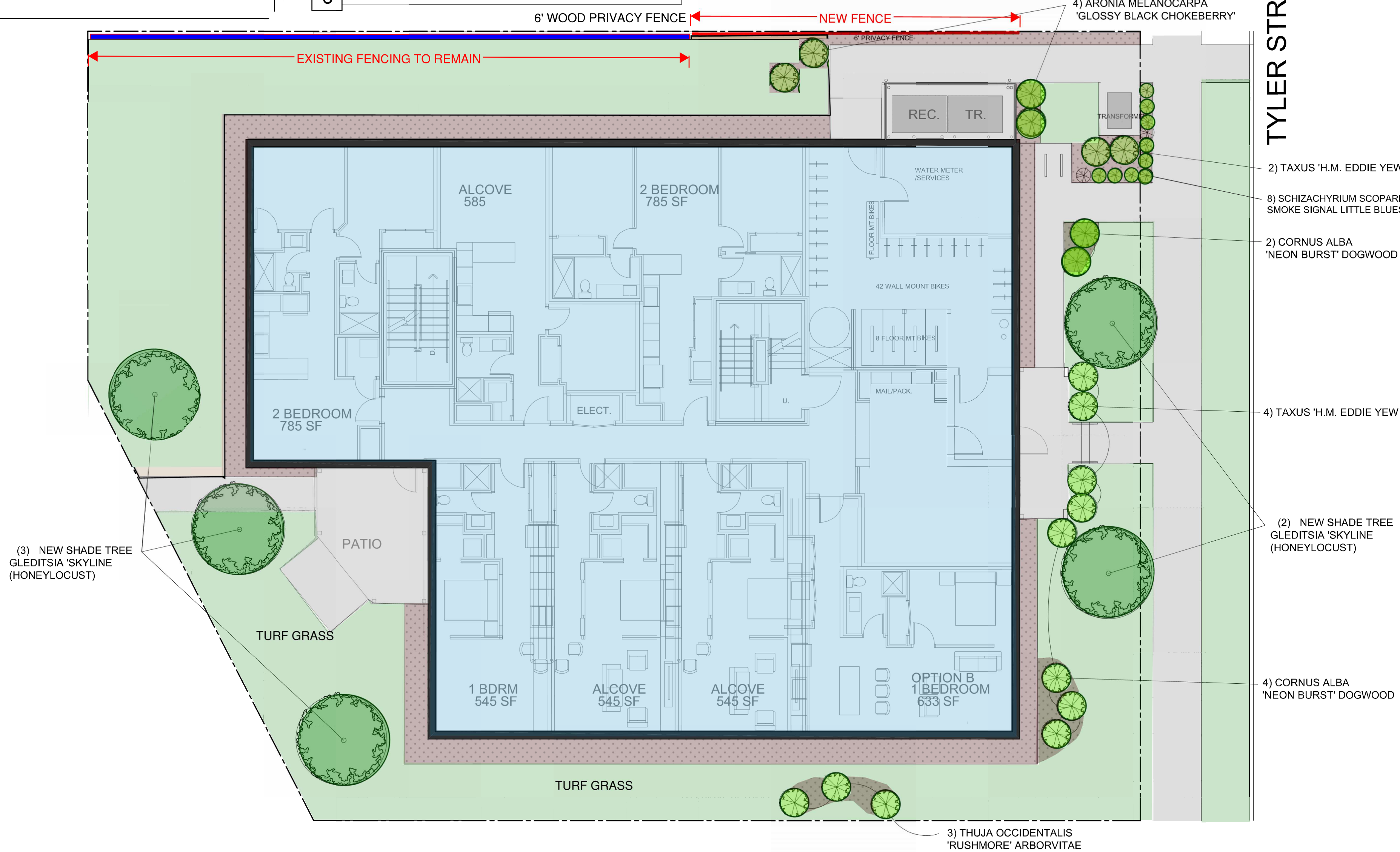
1. THE CONTRACTOR SHALL PROVIDE ONLY PLANT MATERIAL FREE OF NEONICOTINOID BASED INSECTICIDES AND/OR TREATMENTS OF ANY KIND, INCLUDING BY NOT LIMITED TO IMIDACLOPRID (CONFIDOR, ADMIRE, GAUCHO, ADVOCATE), THIAMETHOXAM (ACTARA, PLATINUM, CRUISER), CLOTHIANIDIN (PONCHO, DANTOSO, DANTOP), ACETAMIPRID (MOSPILAN, ASSAIL, CHIPCOTRISTAR), THIALOCLOPRID (CALYPSO), DINOTEFURAN (STARKLE, SAFARI, VENOM), AND NITENPYRAM (CAPSTAR, GUARDIAN).
2. CONTRACTOR SHALL CERTIFY, THROUGH SUPPLIERS POLICY STATEMENT OR AFFIDAVIT, THAT NO NEONICOTINOID BASED INSECTICIDES HAVE BEEN USED ON SITE OR DIRECTLY ADJACENT TO THE GROWING OR STORAGE PLOTS OF THE SUPPLIED PLANT MATERIAL, INCLUDING THE PLANTING OF AGRICULTURAL (OR OTHER) SEED TREATED WITH NEONICS..

LANDSCAPE NOTES:

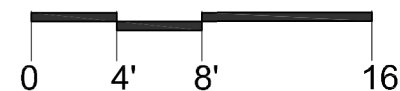
1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. WHERE SHOWN, SHRUB & PERENNIAL BEDS SHALL BE MULCHED WITH 4" DEPTH (MINIMUM AFTER INSTALLATION AND/OR TOP DRESSING OPERATIONS) OF SHREDDED CEDAR MULCH.
3. ALL TREES SHALL BE MULCHED WITH SHREDDED CEDAR MULCH TO OUTER EDGE OF SAUCER OR TO EDGE OF PLANTING BED, IF APPLICABLE. ALL MULCH SHALL BE KEPT WITHIN A MINIMUM OF 2" FROM TREE TRUNK.
4. IF SHOWN ON PLAN, RANDOM SIZED LIMESTONE BOULDERS COLOR AND SIZE TO COMPLIMENT NEW LANDSCAPING. OWNER TO APPROVE BOULDER SAMPLES PRIOR TO INSTALLATION.
5. PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMPNESS OF PLANT MATERIAL FOR DURATION OF ACCEPTANCE PERIOD.
6. UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
7. CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR ONE (1) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
8. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER TOPSOIL AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
9. COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
10. ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
11. REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
12. SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
13. REPAIR AT NO COST TO THE OWNER IRRIGATION SYSTEM DAMAGED FROM LANDSCAPE CONSTRUCTION ACTIVITIES.
14. PROVIDE SITE WIDE IRRIGATION SYSTEM DESIGN AND INSTALLATION. SYSTEM SHALL BE FULLY PROGRAMMABLE AND CAPABLE OF ALTERNATE DATE WATERING. THE SYSTEM SHALL PROVIDE HEAD TO HEAD OR DRIP COVERAGE AND BE CAPABLE OF DELIVERING ONE INCH OF PRECIPITATION PER WEEK. SYSTEM SHALL EXTEND INTO THE PUBLIC RIGHT-OF-WAY TO THE EDGE OF PAVEMENT/BACK OF CURB.
15. CONTRACTOR SHALL SECURE APPROVAL OF PROPOSED IRRIGATION SYSTEM INCLUDING PRICING FROM OWNER, PRIOR TO INSTALLATION.

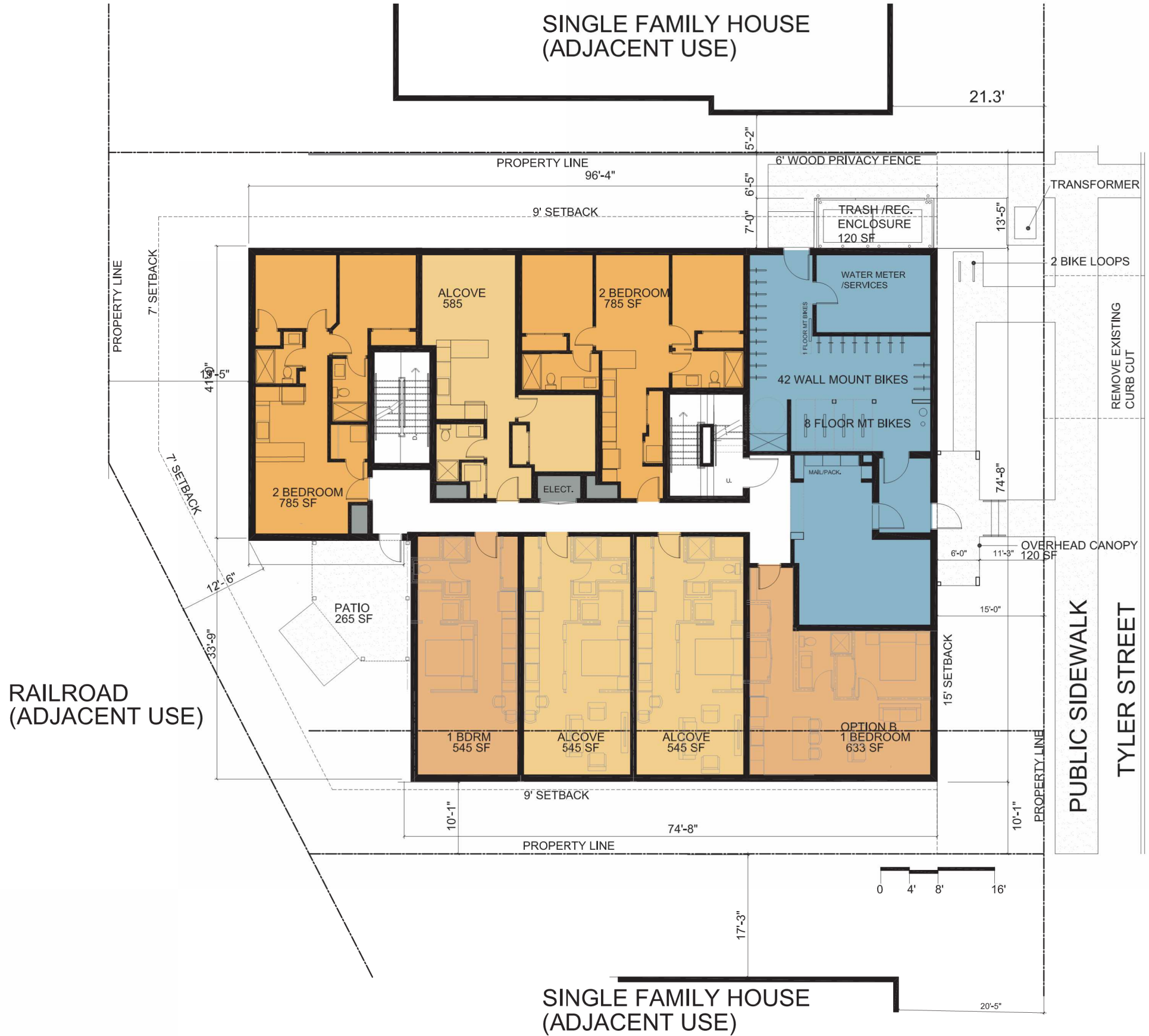
CITY OF MINNEAPOLIS SITE SPECIFIC LANDSCAPE NOTES:

1. ALL PROPOSED TREES IN THE PUBLIC RIGHT-OF-WAY ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MINNEAPOLIS PARK BOARD. PLEASE CONTACT CRAIG PINKALLA AT (612) 499-9233 TO DISCUSS TREE SPECIES SELECTION, PLANTING METHOD, SPACING AND LOCATIONS. TREE PLANTING DETAILS SHALL BE INCLUDED IN THE PLANS. FOR ALL TREES PROPOSED IN "HARDSCAPE ENVIRONMENTS" WITHIN THE PUBLIC RIGHT-OF-WAY, THE APPLICANT SHALL PROVIDE ENGINEERED/STRUCTURED SOIL IN THE FORM OF A TREE TRENCH OR TREE PIT FOR ALL PROPOSED STREET TREES. LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY SHALL FOLLOW ESTABLISHED DESIGN STANDARDS IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS STANDARD SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION CURRENT EDITION AND ITS ATTACHMENTS (REFER TO THE FOLLOWING: [HTTP://WWW.MINNEAPOLIS.MN.GOV/PUBLICWORKS/PLATES/INDEX.HTM](http://WWW.MINNEAPOLIS.MN.GOV/PUBLICWORKS/PLATES/INDEX.HTM)).


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LANDSCAPE PLAN LUA






STATISTICS

FIRST LEVEL
7 UNITS
6,462 GSF

SECOND LEVEL
(3rd, 4th, 5th, 6th sim.)
9 UNITS/FLOOR
(27 UNITS TOTAL)
6,432 GSF

DATE: 6/20/25

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.



PETER KEELY
REGISTRATION NO: 23570



SINGLE FAMILY HOUSE
(ADJACENT USE)



SINGLE FAMILY HOUSE
(ADJACENT USE)

1/16" = 1'-0"



STATISTICS

FIRST LEVEL

7 UNITS
6,462 GSF

SECOND LEVEL

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FOOTPRINT
DEVELOPMENT



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CONCEPT PLAN REVIEW | SECOND LEVEL FLOOR PLAN (3RD, 4TH, SIM)

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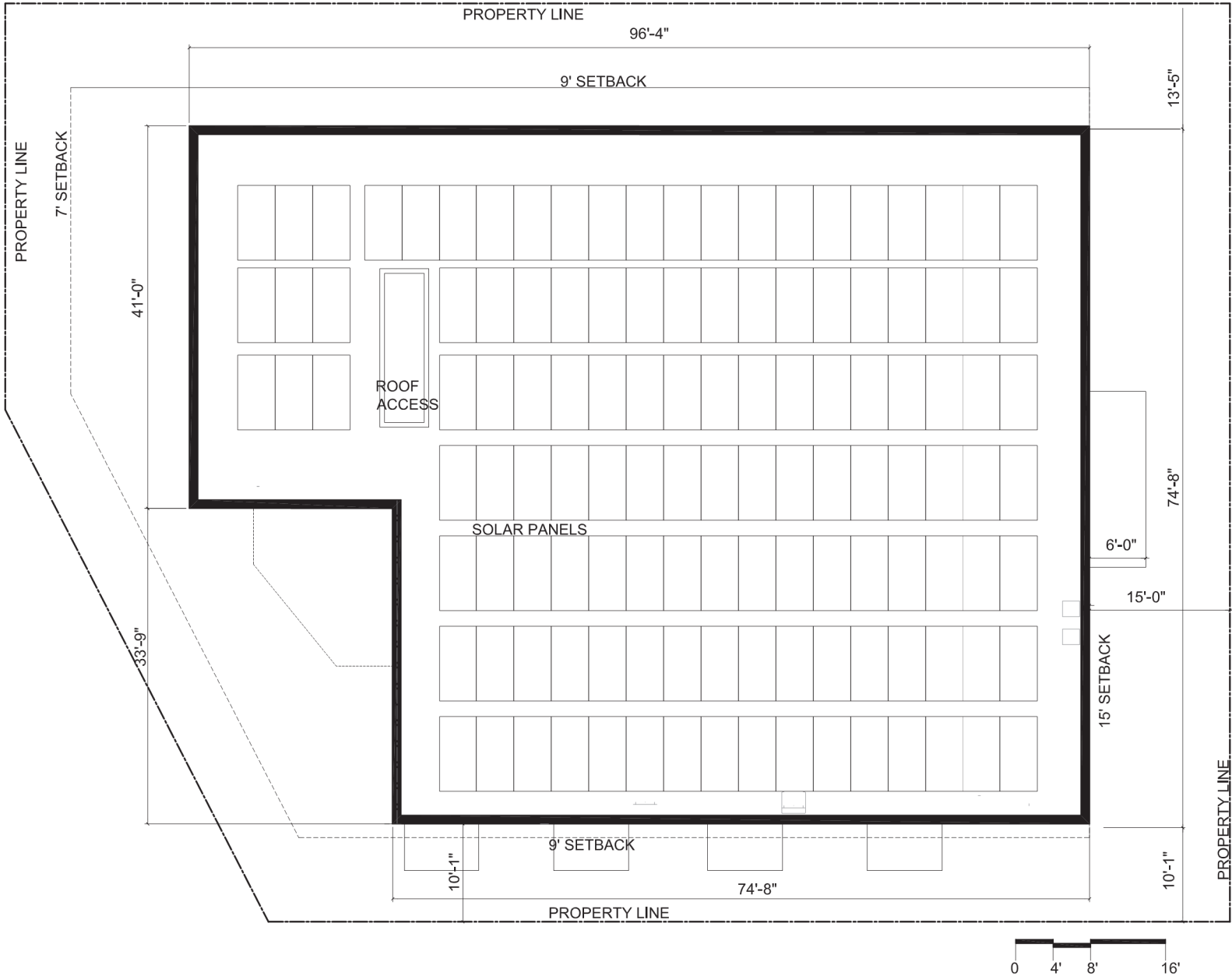
STATISTICS

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7 UNITS
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1/16" = 1'-0"

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REGISTRATION NO: 23570


FOOTPRINT
DEVELOPMENT 

MATERIAL INDEX

- 01- Brick
- 02- Engineered wood Siding 1
- 03- Engineered wood Siding 2
- 04- Engineered wood Trim 1
- 05- Engineered wood Trim 2
- 06 Composite windows
- 07- Metal Railing
- 08- Entry door
- 09- Pre-finished metal flash-ing
- 10- Aluminum balcony sys-tem
- 11- Aluminum canopy
- 12- Sun shading devices

DATE: 6/20/25

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REGISTRATION NO: 23570



EAST ELEVATION




NORTH ELEVATION

MATERIAL INDEX

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REGISTRATION NO: 23570



WEST ELEVATION




SOUTH ELEVATION



VIEW FROM THE SOUTHEAST CORNER

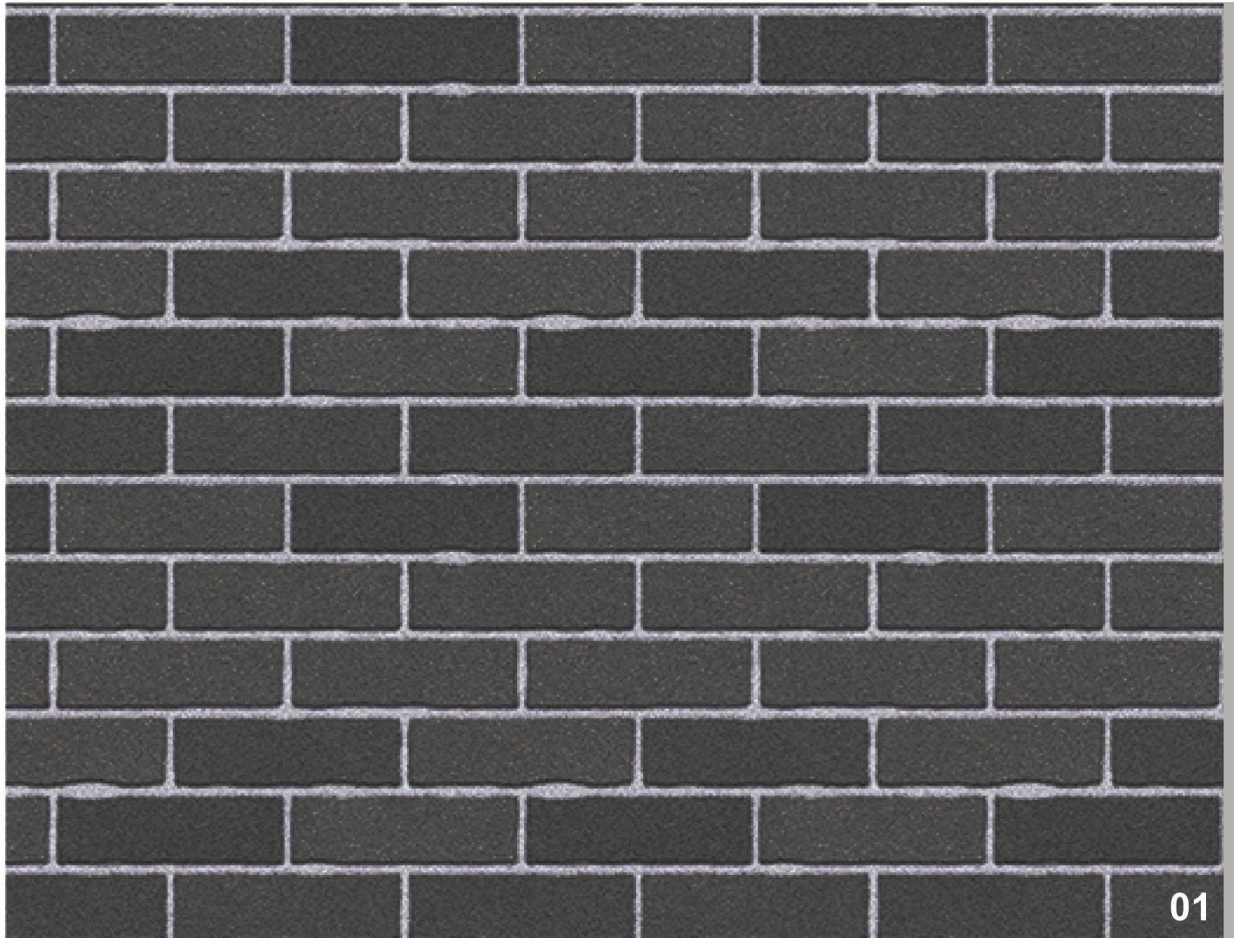


VIEW FROM THE NORTHEAST CORNER

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 PETER KEELY
 REGISTRATION NO: 23570

FOOTPRINT
 DEVELOPMENT 





01



04



05



02



06



03

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REGISTRATION NO: 23570

FOOTPRINT
DEVELOPMENT



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CONCEPT PLAN REVIEW | MATERIALS

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CONCEPT PLAN REVIEW | PERSPECTIVE VIEW

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CONCEPT PLAN REVIEW | PERSPECTIVE VIEW

FOOTPRINT TYLER | Minneapolis, MN



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